



LINCOLN COUNTY LAND SERVICES DEPARTMENT

(715) 539-1087

- SHORELAND SETBACK AVERAGING - Chapter 21 Shoreland Zoning Ordinance

Shoreland Setback Averaging Regulations

- These regulations apply to the shoreland setback only. Setback averaging does not apply to other dimensional requirements, such as lot line setbacks.
- Regulations apply to the development of a new principal structure. This is a structure intended for human habitation or primary commercial activity. Setback averaging regulations do not apply to accessory structures or proposed expansions of existing principle structures.
- The closest shoreland setback permissible through setback averaging is 35 feet from the ordinary high water mark (OHWM). In no instance shall the shoreland setback be reduced below 35 feet.
- An existing development pattern must be present along the shoreline in both directions, as defined in section 21.18 of the county shoreland ordinance.

Existing Development Pattern

Setback averaging applies to the development of a new principal structure when there is an existing development pattern on the landscape.

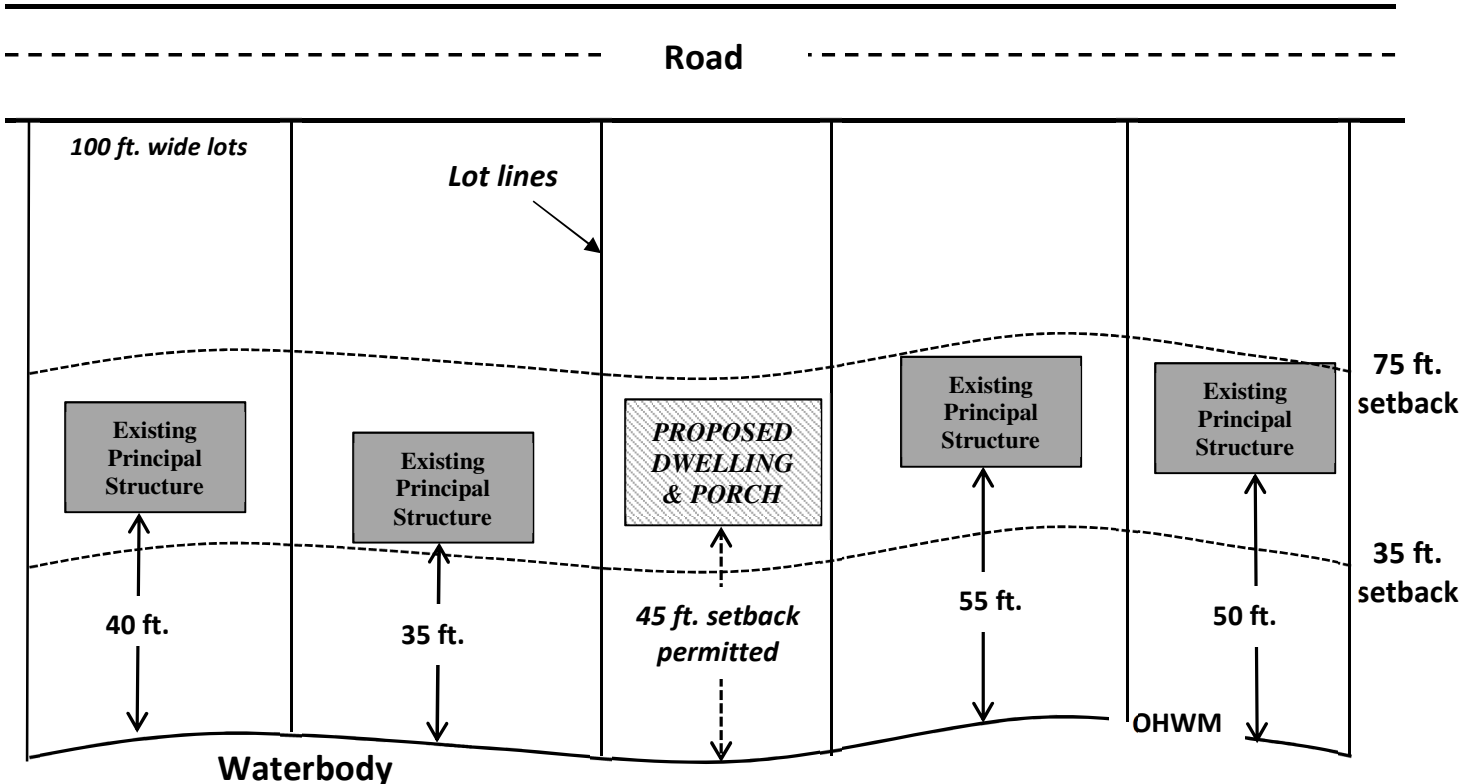
This means there are existing principal structures on the adjacent lots located within 250 feet of the proposed structure which are less than 75 feet from the OHWM. There must be an existing development pattern present. If an adjacent lot is vacant or the principal structure on an adjacent lot is more than 75 feet from the OHWM, setback averaging is not allowed to be utilized.

Example of Setback Averaging

Below is an aerial view of waterfront lots that are all 100 feet wide. Shoreland setback averaging is used to reduce the 75 ft. setback for a proposed principle structure footprint.

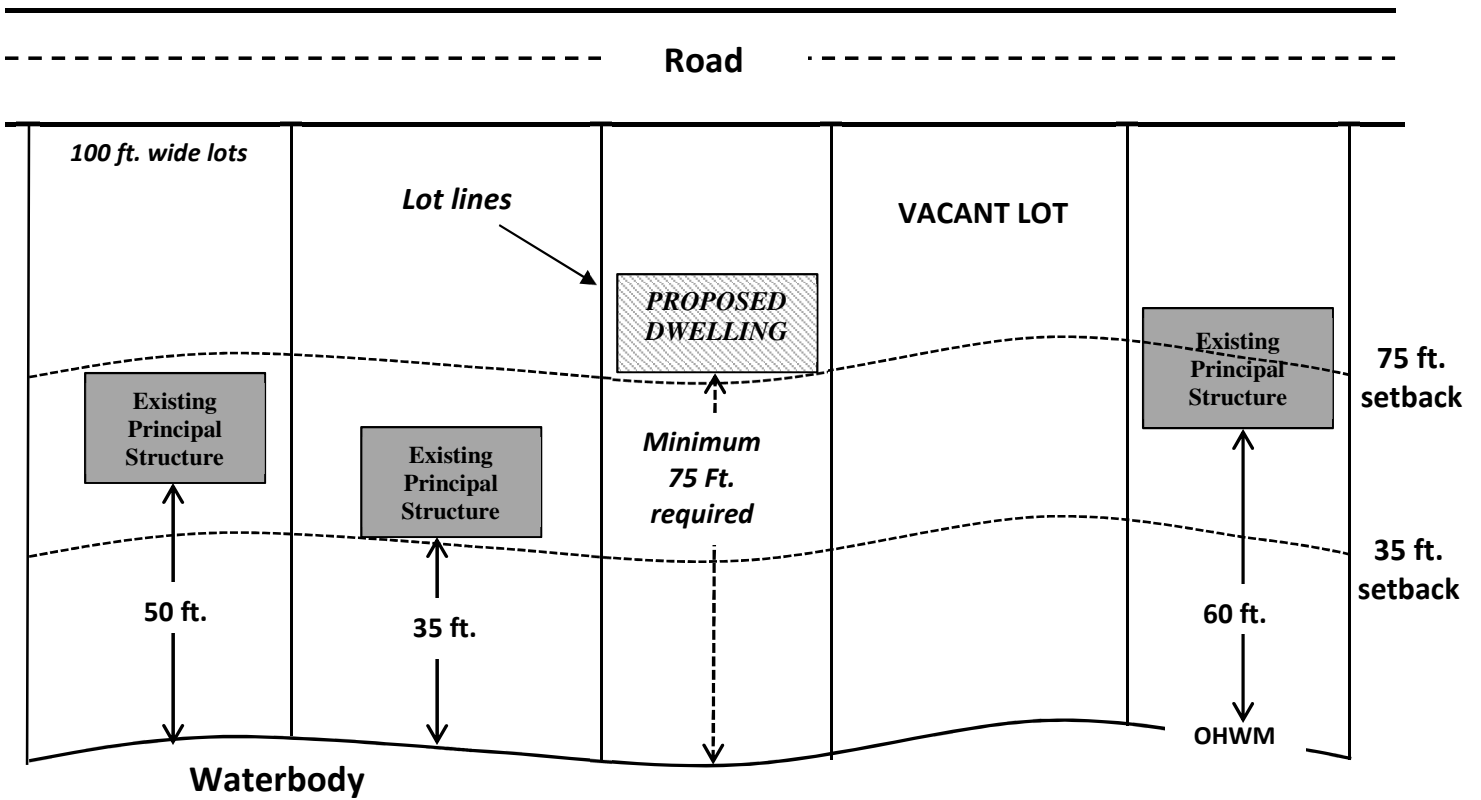
$$\text{EXAMPLE: } (35 \text{ FT.} + 55 \text{ FT.}) \div 2 = 45 \text{ FT.}$$

THE PRINCIPAL STRUCTURE FOOTPRINT IS PERMITTED AT 45 FT. FROM THE ORDINARY HIGH WATER MARK OF THE LAKE.



EXAMPLES OF WHEN SETBACK AVERAGING IS NOT ALLOWED PER CODE.

Example: No existing development pattern. Adjacent lot is vacant.



Example: No existing development pattern. Principle structure on adjacent lot is over 75 ft. from OHWM.

