

Receipt # \_\_\_\_\_

Permit #: \_\_\_\_\_

**COUNTY SANITARY PERMIT APPLICATION**  
**SANITARY NON-PLUMBING DEVICE/SYSTEM/TOILET/UNIT**

**LINCOLN COUNTY ZONING ADMINISTRATION**

**801 N. Sales Street, Suite 103, Merrill, WI 54452**

In accord with Chapter SPS 383/391, Wis. Adm. Code and Lincoln County Private Sewage System Ordinance

**APPLICATION INFORMATION – TYPE OR PRINT**

|                                  |          |                                                                                                                                                       |            |                                |  |
|----------------------------------|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------------------------|--|
| Property Owner Name              |          | Property Legal Description<br>GL                    ¼,                    ¼, Sec.                    , T                    N, R                    E |            |                                |  |
| Property Owner's Mailing Address |          |                                                                                                                                                       | Lot Number | Block Number                   |  |
| City, State                      | Zip Code | Phone Number<br>(      )                                                                                                                              |            | Subdivision Name or CSM Number |  |

|                                                                                                                                                 |  |                                                                                                             |              |
|-------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------------------------------------------|--------------|
| <b>TYPE OF BUILDING:</b> (Check one)<br><input type="checkbox"/> Public <input type="checkbox"/> 1 or 2 Family Dwelling – No. of bedrooms _____ |  | <input type="checkbox"/> City<br><input type="checkbox"/> Village<br><input type="checkbox"/> Town of _____ | Nearest Road |
| <b>LAND USE:</b> [Explain the use/purpose for this permit, (i.e., campground, cabin, recreation, etc.)]                                         |  | Parcel Tax Number(s)                                                                                        |              |
| <input type="checkbox"/> Fire Number                                                                                                            |  |                                                                                                             |              |

**TYPE OF NON-PLUMBING DEVICE/ SYSTEM/TOILET/UNIT:**

Privy - Pit Toilet (**attach soil test report**)     Composting Toilet System     Incinerating Toilet Device  
 Privy - Vault Toilet     Portable Toilet (\$25 annual renewal fee)  
 Vault size: \_\_\_\_\_ gallons or \_\_\_\_\_ cubic feet     Other: \_\_\_\_\_  
*(Vault must be a minimum of 200 gallons)*  
**(PLEASE READ & SIGN THE RESPONSIBILITY STATEMENT & SANITARY NON-PLUMBING AGREEMENT BELOW)**

**RESPONSIBILITY STATEMENT & SANITARY NON-PLUMBING AGREEMENT:**  
 I, the undersigned, assume responsibility for the installation of the non-plumbing sanitary system for which this permit is issued. I further agree that any dwelling in conjunction with this permit will not be provided with indoor plumbing and/or a private water supply (well). I will use the non-plumbing system indicated as a means of waste disposal, and I will carry water to and from the structure. I understand that before indoor plumbing and water hook ups are installed the proper State and County Permits will be applied for. I further understand that any deviations from the above will constitute a violation of the Lincoln County Zoning Ordinance and would subject me to the penalties of the Ordinance. By signing this application I am also granting permission to the zoning department staff to enter my property at any reasonable time for the purpose of inspection to assure compliance with the zoning laws relative to the issuance of this permit including but not limited to all applicable setbacks and impervious surfaces.

|                       |                   |
|-----------------------|-------------------|
| Owner's Name: (Print) | Owner's Signature |
|-----------------------|-------------------|

**COMPLETE A DETAILED PLOT PLAN DRAWING ON PAGE 2**

**OFFICE USE ONLY:**

|                                                                                                            |                                                                  |              |                          |
|------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|--------------|--------------------------|
| <input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br><input type="checkbox"/> Withdrawn | Permit Fee: <b>\$100.00</b><br><small>(Effective 5/1/16)</small> | Date Issued: | Issuing Agent Signature: |
|------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|--------------|--------------------------|

**COMMENTS:**

**CONDITIONS OF APPROVAL / REASONS DENIED:**

## **PLEASE PROVIDE A DETAILED PLOT PLAN DRAWING IN THE SPACE BELOW**

A detailed drawing of the plot plan MUST be given. Include on the drawing ALL of the information requested below. (Our office recommends, but does not require, drawing your plot plan directly onto an aerial printout of your property. You can print them at no charge through our GIS mapping available online or you can request one from our office at no charge.)

1. Shape of parcel.
2. Indicate which direction is North.
3. Show the location and names of all surrounding roads/highways.
4. Show the location and names of all area water bodies (lakes, rivers, creeks, ponds, etc.)
5. Indicate any wetlands or floodplain on property.
6. Indicate distance from well to proposed construction.
7. Show the location of the non-plumbing system on the parcel. Include the following measurements:
  - a) Distance from the centerline of any/all roads.
  - b) Distance from the right-of-way of any/all roads.
  - c) Distance to all lot lines.
  - d) Distance to any/all water bodies.
  - e) Distance to any habitable building, dwelling, or camper.
  - f) Distance to a slab constructed accessory building
8. Indicate ALL other existing buildings on parcel with "EB".



**LINCOLN COUNTY REGULATIONS AND RECOMMENDATIONS**  
**FOR THE CONSTRUCTION OF THE SANITARY PRIVY**

In Lincoln County, privies may be permitted for those inhabitable structures not provided with indoor plumbing and/or a private water supply (well).

Applicants wishing to construct a privy shall submit a completed application and signed statement, stating the inhabitable structure will not have indoor plumbing or be serviced by a private water supply.

**REGULATIONS**

1. Chapter 145.195, Wisconsin Statutes, Chapter 2.01(1) & Chapter 3.02(2) Lincoln County Code of Ordinances requires a sanitary permit prior to construction of any inhabitable structures.
2. Section 17.8.50, Lincoln County Code of Ordinances requires any new structure to meet all applicable setbacks and impervious surface regulations.
3. Chapter 22.3.13, Lincoln County Code of Ordinances states:
  - 1) Privies shall be constructed and maintained in a clean condition and be fly tight and vermin proof.
  - 2) Privies shall be located at a minimum horizontal distance of :
    - a. 10 feet from a habitable building or dwelling
    - b. 10 feet from a slab constructed accessory building
    - c. 50 feet from any well
    - d. Structural setbacks from highway, waterways, and lot lines are the same as those listed in Chapter 17.4.10 and Chapter 21.07 of the Lincoln County Code of Ordinances. (explained below)
      1. 63 feet from the centerline or 30 feet from the right of way, whichever is greater of a town road or public street
      2. 75 feet from the centerline or 42 feet from the right of way, whichever is greater of a county road.
      3. In Forestry District, the setback for any structure shall be 150 feet from the centerline or 117 feet from the right of way, whichever is greater of ANY public road.
      4. 75 feet from the ordinary high water mark of a navigable body of water.
      5. 10 feet from side lot lines.
    - e. Bottom of the pit must be 3 feet above the high groundwater or bedrock as determined by soil boring performed by a certified soil tester, unless equipped with a watertight vault, such as a concrete tank with a minimum capacity of 200 gallons as per Comm. 91, Wisconsin Administrative Code.

**RECOMMENDATIONS**

The following are recommendations for the construction and maintenance of a sanitary privy.

1. General requirements:
  - ◆ All privies shall be insect and vermin proof
  - ◆ Privies should be provided with concrete floors and risers and the interior painted
  - ◆ Privies should be provided with a suitable approach, such as concrete, gravel, cinder or asphalt
  - ◆ The entire installation should be kept clean and sanitary. Freshly slaked lime or other effective disinfectant shall be used in the vault at frequent intervals. Floors, walls, seats and urinals should be scrubbed as often as possible. The vault should be cleaned at proper intervals and waste disposed of properly (in accordance with any Wisconsin Statutes or Administrative Rules)
  - ◆ All windows, ventilators and other openings should be screened with 16 mesh screening to prevent the entrance of insects

## 2. Foundation and Vault Requirements:

- ◆ The outer base of the privy should be banked with earth
- ◆ Concrete block foundation walls should extend six inches above ground and twelve inches below ground to prevent entrance of insects and vermin
- ◆ The bottom of open pits shall be at least three feet above bedrock or high ground water except where the pit is equipped with a permanently water tight vault, such as a concrete tank with a minimum capacity of 200 gallons as per Comm. 91, Wisconsin Administrative Code.
- ◆ An exterior vermin-tight access opening for cleaning of the vault should be provided where a water-tight vault has been installed
- ◆ It is suggested that the privy pit be excavated to a five foot depth and the pit be provided with a wooden crib lining

## 3. Ventilation Requirements:

- ◆ A privy should be provided with cross ventilation equal to two square feet of screened opening for each seat
- ◆ Vaults should be ventilated with a pipe of at least four inches in diameter which terminates at least one foot above the roof and provided with an effective ventilating hood.

## 4. Superstructure Requirements:

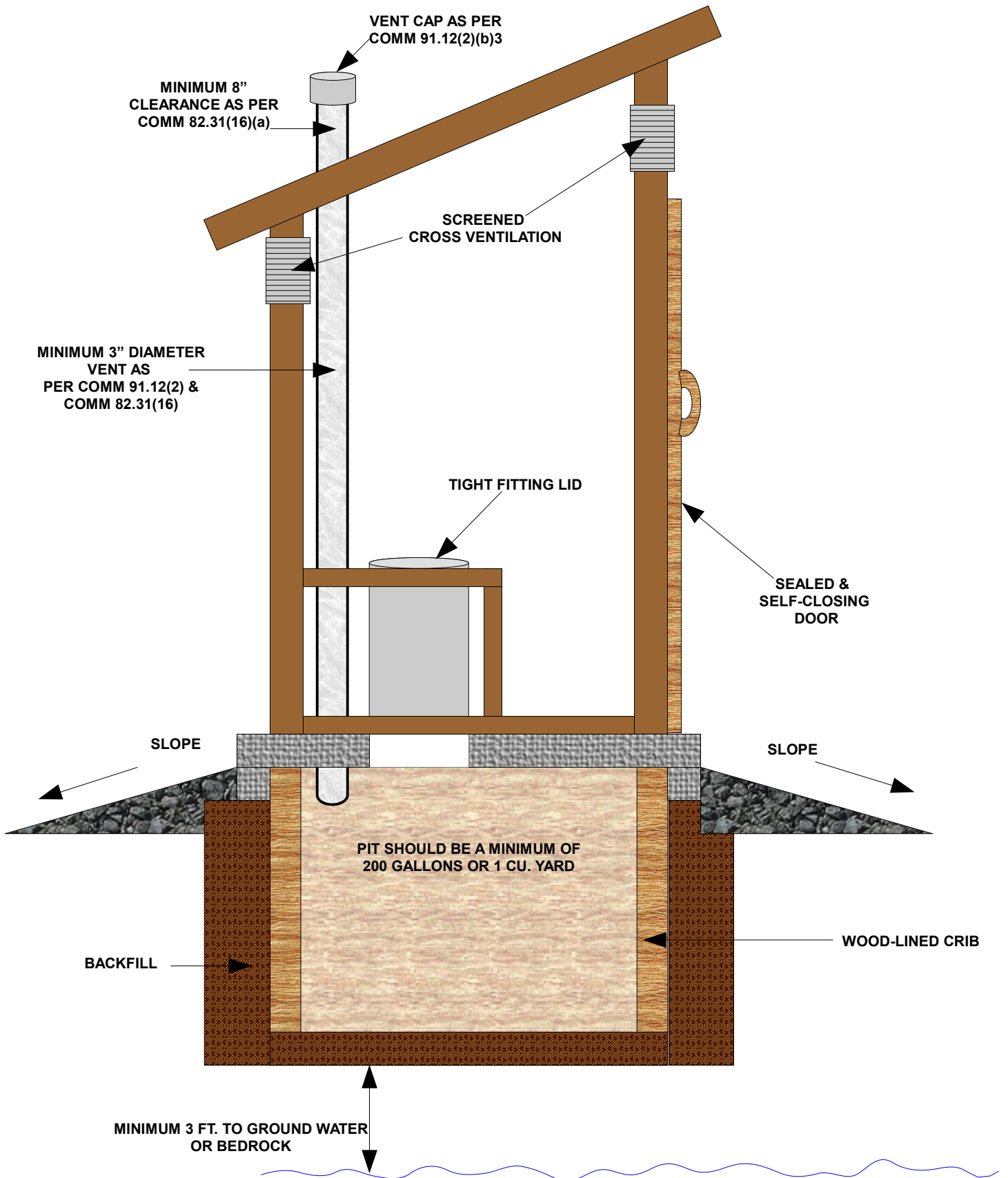
- ◆ Walls and ceilings should be completely covered with smooth plastic, galvanized metal, wood or other suitable material, provided that all joints are properly sealed.

## 5. Additional Suggestions:

- ◆ Privy doors should swing and be self closing
- ◆ Privy seats should be provided with hinged covers

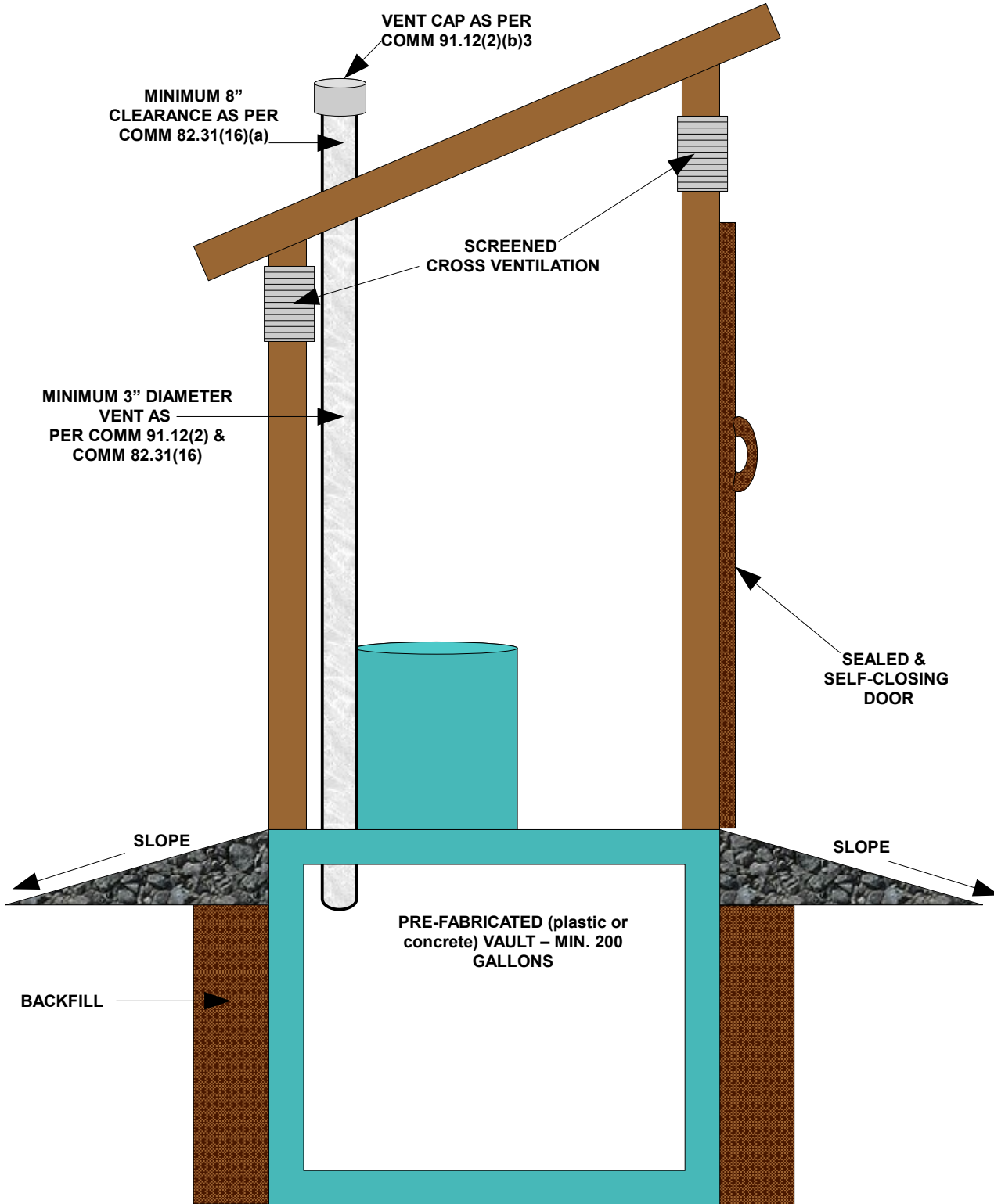
# Pit Privy Option

MINIMUM 200 GALLON or 1 CU. YARD



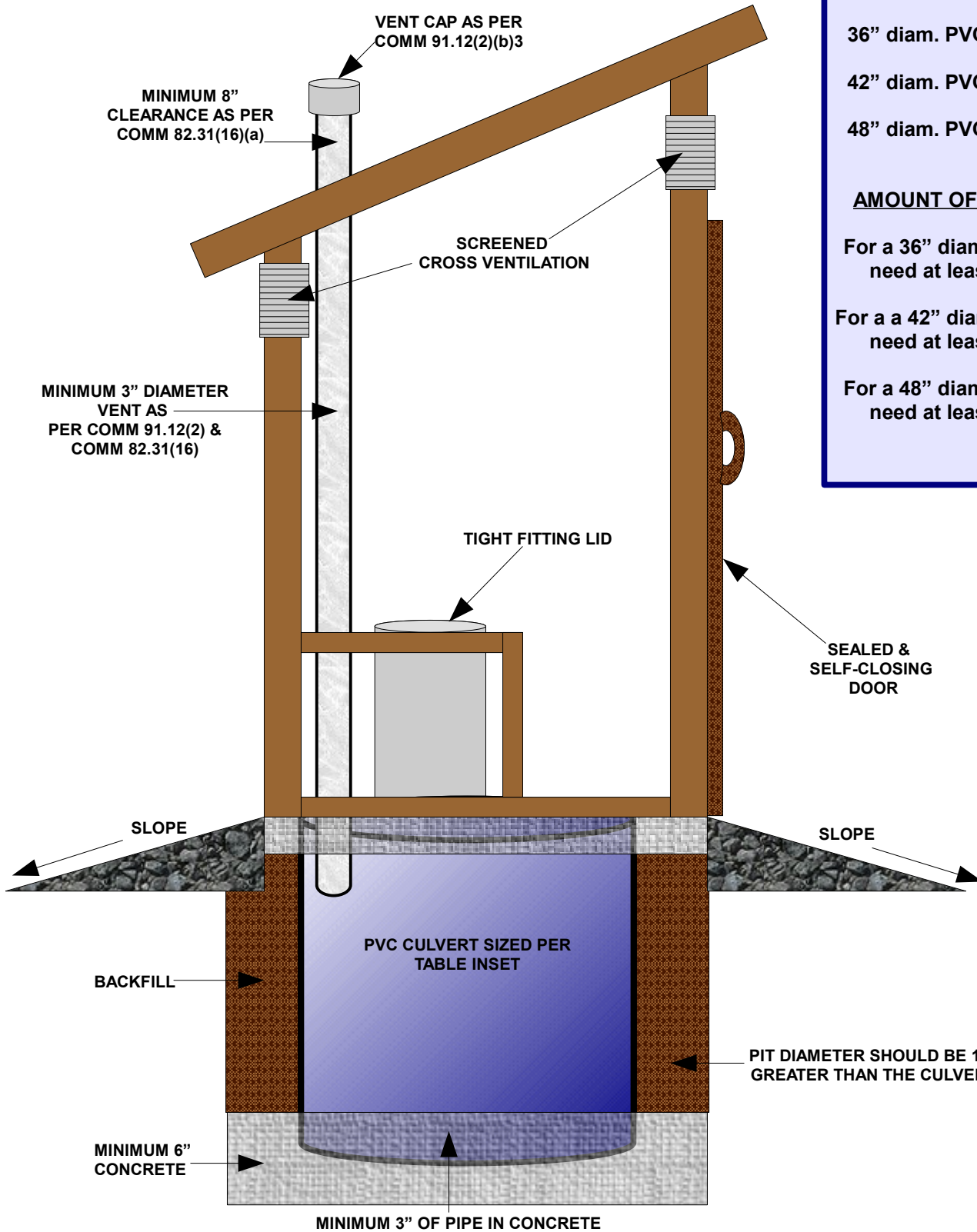
# Vault Privy: Pre-Fab Option

MINIMUM 200 GALLON VAULT



# Vault Privy: PVC Culvert Option

MINIMUM 200 GALLON VAULT



## PVC SIZING TABLE

36" diam. PVC = 52.85gal./ft.

42" diam. PVC = 71.93gal./ft.

48" diam. PVC = 93.96gal./ft.

## AMOUNT OF PVC NEEDED

For a 36" diam. PVC, you will need at least 51" length

For a 42" diam. PVC, you will need at least 39" length

For a 48" diam. PVC, you will need at least 29" length